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INSTRUMENT TO RECORD DEDICATORY INSTRUMENTS

This Instrument is being recorded by Royal Shores Community Association, Inc. a Texas nonprofit corporation (the "Association") pursuant to Section 202.006 of the Texas Property Code.

Section 202.006 of the Texas Property Code requires a property owners' association to record each dedicatory instrument in the real property records of the County in which the property to which the dedicatory instrument relates is located, if such instrument has not previously been recorded; a

Restrictive covenants and other matters concerning the Subdivision are set forth in Declaration previously recorded as follows: Harris County Clerk's File No. X288349, and subsequent Supplementary Declarations and Annexations of record thereto.

The Association is currently subject to the following additional dedicatory instruments, which have not previously been recorded, to-wit:

Architectural Control Guidelines for Residential Construction in Royal Shores Sections 1,2 3, 4, 5, and 6 and Royal Shores Patio Homes Sections 1,2 and 3.

Pursuant to Section 202.006 of the Texas Property Code, the Association does hereby record such additional dedicatory instruments, copies of which are attached hereto in the order set forth hereinabove.

EXECUTED on the 5 th day of June, 2008.

ROYAL SHORES COMMUNITY ASSOCIATION, INC.

By: [Signature]
Name: Tim FITZPATRICK
Title: PRESIDENT

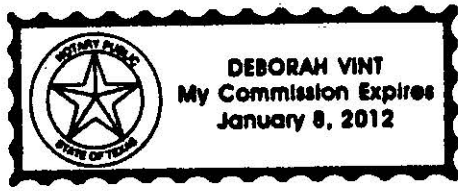
for

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §

This instrument was acknowledged before me on June 5th, 2008, by Tim Fitzpatrick, the President of Royal Community Association, Inc., a Texas nonprofit corporation, on behalf of said corporation.

[Signature]
Notary Public, State of Texas

HS File No. 351001-195



RE 057-21-1602

ROYAL SHORES

Architectural Control Guidelines

for Residential Construction In
Royal Shores Sections 1,2,3,4,5, and 6
And Royal Shores Patio Homes Sections 1, 2 and 3

All subdivisions of record in Harris County, Texas

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FRIENDSWOOD DEVELOPMENT COMPANY



ROYAL SHORES

Architectural Control Guidelines
for Residential Construction
In Royal Shores Sections 1,2,3,4,5,6 and
Royal shores Patio Homes Sections 1, 2 and 3
All Subdivisions of record in Harris County, Texas

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RP 057-21-1604

These Residential Architectural Control Guidelines outline design goals, design criteria and the design review process for Royal Shores, developed by Friendswood Development Company (FDC). These guidelines are applicable to Royal Shores Sections 1,2,3,4,5 and 6, Royal shores Patio Homes Sections 1,2 and 3 and future sections of Royal Shores, all of which comprise the community of Royal Shores at Kingwood.

I. Architectural Review Process

A. Areas of Application

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the Architectural Review Committee (the "ARC") prior to commencement of any building or construction activity. This approval can be secured in a timely fashion if applicable criteria specified in Sections II through Section IV of this guide are met to the satisfaction of the ARC. The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of property owners and developers.

B. Submission Procedures

The design for each home in Royal Shores must be approved in writing by the ARC before construction of the home may begin. Any deviation from approved plans during construction, without the ARC's approval, constitutes a violation. Corrections of such deviations may be required. Notice of approval shall be in the form of a letter from the ARC to the party submitting the plans. Copies of approved plans and approval letters will be kept on file at FDC until completion of the development section. The ARC will review submissions and make every effort to give notice of approval or disapproval within 5 working days following receipt and review of submissions.

The ARC meets regularly to review design submittals. Only complete submittals will be reviewed. All drawings must be accurate enough to be scaled reliably. Faxed materials will be accepted for preliminary home design and plot plan change approvals. Any variances, however, must be requested in writing. Faxes will not be accepted in place of normal submission procedures. Submittals shall be sent to:

Residential ARC Administrator
Friendswood Development Company
550 Greens Parkway, Suite 100
Houston, TX 77067

The process for submission of Production Home Plans, and Production Home Site/Plot Plans are as follows:

1. Custom Homes

Custom homes are approved on a plan-submittal basis. If the builder has a custom home plan book, those plans may be submitted in accordance with the provisions for "Production Homes," below. Unique "full custom" plans must have the following for submittal:

(a) Site Plan/Roof Plan at a scale of 1" = 20', including:

- Locations, dimension and material notations for walkway, driveway, patios, and all other exterior flatwork including easements, setbacks, and building lines.

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- Total area of all impervious cover as listed above, including the home and garage foundation footprint, and square footage of coverage.
 - Proposed location, height, and material of each exterior fence or wall.
- (b) Front Elevations at 1/4" = 1'0" scale, other elevations may be at 1/8" = 1'0"; all elevations must be shown and must include notations of all exterior wall materials, notation of roof materials, and notation of window types.
- (c) Floor Plans at a scale of 1/4" = 1'0"
- (d) A registered professional engineer stamp is required on all foundation drawings. It is the builders' responsibility to ensure that submitted foundation designs be structurally adequate and comply with all applicable codes.
- (e) The lot and block number, subdivision name and builder name must be clearly printed on the first page of the submittal. The submission must also include a description of all materials to be used on the building exterior. An address of an existing residence where a submitted material is already in use (such as brick or roof shingles) is also helpful.

2. Production Homes

Production home plans must be approved for each community and each neighborhood they are proposed. Approvals in other FDC communities do not constitute a blanket approval to build that plan in Royal Shores.

(a) Plan Design: Architectural Review Process Submittal Requirements:

The ARC requires one set of the following for production home plan submittals:

- Floor Plans on 11" x 17" sheets.
- Front Elevations on 11" x 17" sheets; all elevations must be shown and must include: notation of locations of all exterior wall materials, notation of roof materials, notation of window types.
- Upon approval of a production home floor plan and series of elevations, only site/plot plan approvals are required for each home.

(b) Site/Plot Plan: Architectural Review Process Submittal Requirements:

The design for each Site/Plot Plan must be approved in writing before construction of the residence can begin. Submittal must depict:

- Locations, dimensions, and materials notations for walkways, driveway, patios, and all other exterior flatwork, including setbacks, easements, and building lines.
- Lot coverage calculation, including the total area of all footprint areas of impervious cover as listed below, including all building foundations, walks, sidewalks, patios and driveways.
- Proposed location, height, and material of each exterior fence or wall.
- Lot number, block number, section number, and builder name must be clearly printed on the first page of the submittal.

C. Disclaimers

These Residential Architectural Control Guidelines are intended to describe a general level of conformance for development. The guidelines and the procedures set forth herein may be modified

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or waived from time to time by the ARC and do not supercede compliance with applicable federal, state, county, or local laws and regulations.

All structures must conform to any state or local building codes, zoning ordinances, or other governmental regulations. If provisions of these Architectural Control Guidelines are more restrictive than other applicable codes, the provisions of these Architectural Control Guidelines apply.

Neither the FDC, the ARC, nor their individual members, partners, employees, agents, or the successors or assigns of any of them shall be liable in damages to anyone submitting to them for approval of any plans and specifications or request for variances from the Architectural Control Guidelines, or to any owner or occupant of any parcel of land affected by the Architectural Control Guidelines, or to any third party, and the submission of plans or requests constitutes an express waiver and release of these third parties to the fullest extent permitted by law.

II. Site Planning

A. Minimum Building Setbacks

Site plans must conform to restrictions set forth in the Declaration of Covenants, Conditions and Restrictions (the "DCC&R's"), the recorded subdivision plat which shows building setback lines, easements dedicated by separate instruments, and all Houston ETJ ordinances. In some cases, different setbacks may be enforced by deed restrictions, neighborhood architectural guidelines, and/or the ARC for aesthetic reasons. FDC reserves the right to modify setback requirements.

Standard Lots:

Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
90' feet or less	30 feet	7½ feet	10 feet
Greater than 90'	35 feet	10 feet	10 feet

Cul-De-Sac Lots:

Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
90' feet or less	Platted Setback	7½ feet	10 feet
Greater than 90'	35 feet	10 feet	10 feet

Front and side setbacks of lot varying sizes shall be determined on an as-needed basis and incorporated into these Guidelines by addendum.

B. Lot Coverage

Total site coverage of building, walks/sidewalks, patios and driveways may not exceed 45% for two-story homes and 55% for one-story homes (excluding patio home lots). These percentages are

approximations and apply to all areas within the property lines. Swimming pools, pool decks and spas are not considered in the calculation for lot coverage.

The area, which is not covered (open space), must be left natural if in a wooded area. However, regardless of whether a lot is located in a wooded area or plains area, the criteria within the Landscape section of these guidelines must be met. (Ref. Sec II, Paragraph J)

C. Corner Lots and Intersections

1. Corner Lots

Corner lots shall have garages and driveways near the property line farthest from the corner intersection only (Figure 1). "Side out" garages and side street are prohibited (Figure 2).

The builder fencing along side streets must be constructed 1/2 way between the platted building line and the side property line.

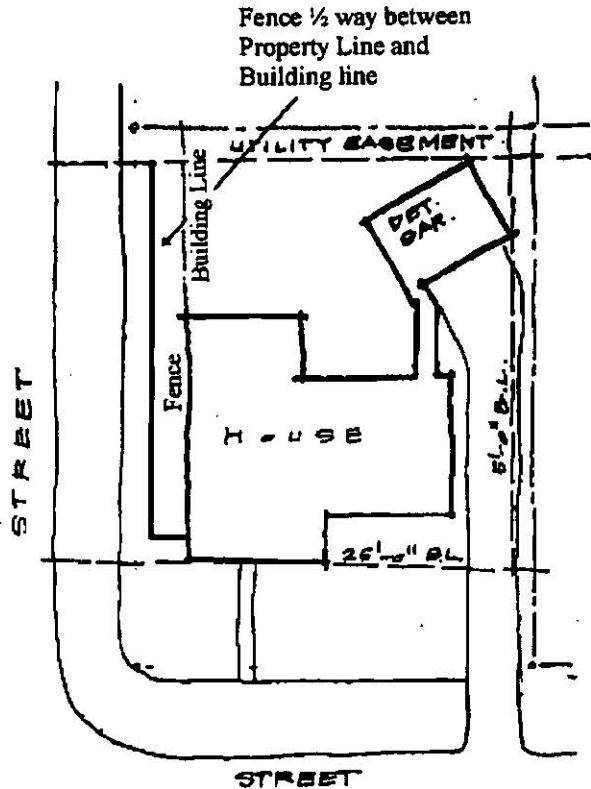


Figure 1
Approved Configuration

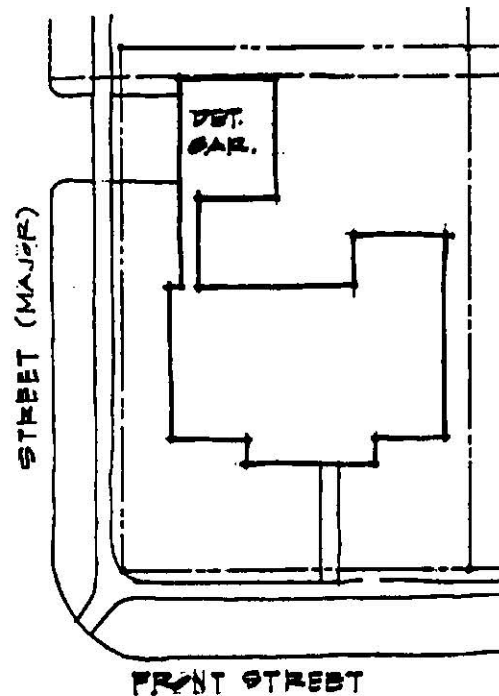


Figure 2
Prohibited Side Loaded Configuration

2. Intersections

An area of open space is required at all corner lots where intersections occur. These intersections shall be unobstructed to permit pedestrian and vehicular view when near an intersection. No trees

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or other potentially opaque landscaping is permitted in this area. This shall be 25 feet in distance from each street at the corner. (Figure 3)

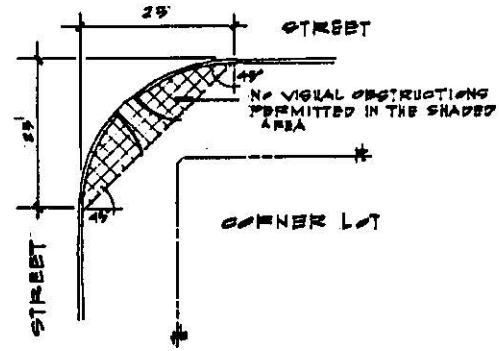


Figure 3
Intersection Clear Zone

D. Greenbelt Lots

Homes on greenbelts and water bodies should be planned in a manner that maximizes views to these amenities.

E. Patio Home Lots

Patio home lots are "zero lot line" homes and will be built in Royal Shores Patio Homes Sections 1,2 and 3. Accordingly, the minimum side lot building line may be zero feet (0') on one side, while the opposite side is ten feet (10'). FDC may assign lot line "zeros," and may file protective covenants to facilitate this configuration. The purpose of the configuration is to provide a patio private courtyard on the side of the home, behind the front building line.

In order to accommodate any roof overhangs within the property line, the edge of the fascia on a roof will be considered the edge of the home for siting purposes.

The patio (courtyard/open) side of a patio home shall, in general, face an all brick wall view so views into neighboring patio home's interior are avoided. Atrium cutouts in the "zero lot line" may be considered, subject to review and approval by the ARC.

Where two adjacent patio home lots have patios that adjoin each other, a solid six-foot wood or brick fence is required on the property line between lots.

Exhibit "A" contains additional guidelines pertaining to Royal Shores Patio Homes Sections 1,2 and 3.

F. Sidewalks, Front Walkways, and Steps/Retaining Walls

1. Sidewalks

Sidewalks are not required by the Developer in Royal Shores. Builders may only construct sidewalks in front of a home to tie-in with existing sidewalks.

2. Front Walkways

Front walkways should complement the architectural style of the home and its respective site. Walks must conform to the landscape and should not compete with the home in detail or attention. All homes must have a front walk from the street curb or driveway to the front door.

Front walks must be at least three feet (3') wide, but no wider than five feet (5'). Front walks should be at least 3½ inches lower than the front entrance landing in order to help avoid possible ponding problems in that area.

Concrete or brick pavers are the only permitted walkway materials.

3. Steps & Retaining Walls

Any proposed steps and terraces in the front yard should generally occur on or near the front property line wherever possible.

Construction materials allowed for steps and retaining walls are the same as those for walls. The material should complement the predominant building material, preferably brick pavers. All materials, however, must be of masonry or stone construction and approved by the ARC. Asphalt is strictly prohibited.

A maximum rise of 18 inches is allowed for any individual retaining wall at any given location. If a situation exists where a taller retaining wall is needed, it shall be broken up into individual and separate 18-inch retaining walls. All retaining wall tops must be level with the horizon. Where possible, steps and walls should be contiguous within the overall design of the front yard (Fig. 4).

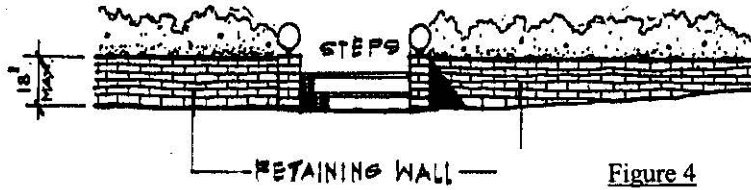


Figure 4
Retaining Wall

G. Garage and Driveway Locations

1. Garages

All homes in Royal Shores must have a minimum two-car garage. The garages may be detached or attached. The location of the garage is a function of the driveway location provided by FDC.

Detached garages must be set back a minimum of 60 feet from the front property line. A breezeway or covered patio must connect the main residential structure of the home to the detached garage. Three-car garages detached and oversized garages are permissible, subject to ARC approval.

Attached garages are typically "hook-in", "front loaded" or a combination thereof. Three-car garages are only permissible as a "tandem", (with no more than a two-car garage appearance from public view) or as a "split" configuration (i.e. a double car hook-in with a single car front loaded or vice versa).

2. Driveways

Driveway locations will be provided by FDC for each section. Variances may be requested by the builder (in writing) if there is an acceptable reason for deviating from the desired driveway location. In considering variances, builders should evaluate each lot for any utility conflicts (inlets, fire hydrants, flushing valves, manholes, etc.) that might interfere with the driveway provided driveway location.

Builders are required to build driveways out to the street curb. Where six inch (6") barrier curbs exist, the builders are required to saw-cut the street and curb, and tie into the street and curb in accordance with city or county standards. It is the builders' responsibility to take care in realigning the grade pattern in the flow line of the gutter in accordance with county regulations.

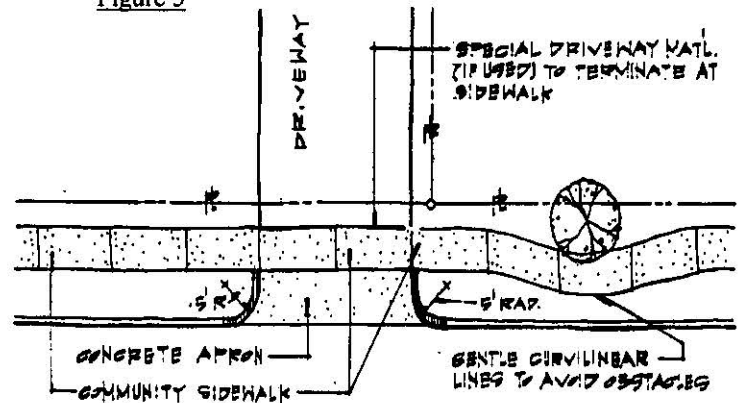
Builders shall be responsible for repairing any ponding water ("bird baths") resulting from their construction activities. Where four inch (4") mountable curbs exist, no saw cuts will be required or permitted.

The driveway shall be constructed perpendicular to the street and shall be tied in to the street with a 5' radius. The joint will be constructed in conformance to city or county standards and shall be doweled at the point of curvature (Figure 5).

Where the driveway intersects the sidewalk and front walks, the driveway finish may not continue through the sidewalk. Where sidewalks do not exist, driveways may continue uninterrupted to the street curb with either a standard concrete finish or special paving material.

Driveways may be paved with concrete or other masonry materials, which relate to the architecture of the home. This masonry material must be compatible, not only with the home, but also with any other walkways or terraces on the lot.

Figure 5



Materials such as textured concrete, stamped concrete, colored concrete, interlocking pavers, and brick borders are acceptable, but must be submitted to the ARC for color and design approval prior to the construction.

The maximum driveway width for front loaded garages is 17 feet at the front property line.

The maximum allowable driveway width for detached garages is 12 feet from the front property line to at least the front building line where it may then transition to a wider width. The minimum driveway width allowed is 10 feet except where applicable county and city codes require otherwise.

All detached garage driveways shall have a minimum three feet (3') side lot setback between the driveway and the adjacent side property line.

Where side-by-side driveways occur, a minimum four feet (4') side lot setback shall be required between the driveway and the side property line to allow for adequate landscape treatment.

ALL CIRCULAR DRIVES ARE PROHIBITED.

All driveway designs are subject to review by the ARC.

H. Fences and Gates

1. Wood Fencing Guidelines:

(a) Height:

Typically limited to six feet (6') nominal measurement above natural grade.

(b) Materials:

All wood fences are to be constructed with quality, new wood, consisting of cedar, treated pine posts and stringers, and number-one or number-two grade 1" x 6" cedar.

(c) Construction:

Interior Lots (Figure 6): Fence must be set back at least five feet (5') from the front of the home. A "good neighbor" fence policy is required. Alternating sections are to occur at regular fence post intervals only, so that an entire panel is dedicated to one lot and the following panel is dedicated to the adjacent lot and so forth. In this manner, both lots receive approximately the same exposure to finished sides of a picket fence structure.

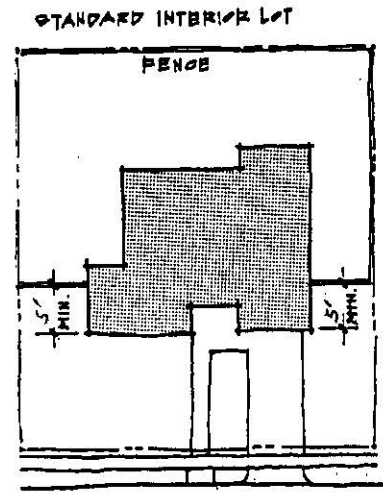


Figure 6

Corner lots (Figure 1, Page 4): Fence must be located halfway between the property line and the building line.

The fence must be set back five feet (5') from the front of the home. The finished, or "picket" side of the fence should face the side street. On corner lots of a subdivision entrance where wood fencing is utilized, the fence must be a capped.

(d) Special conditions:

The finished side of a fence should always face the exterior or public side. Any exposures to greenbelts, ditches, or detention basins will be considered public view.

The breezeway fencing between a detached side-out garage and the home may be four feet (4') high to allow for visibility.

Where residential lots are located adjacent to either a commercial, institutional, or other more public use, the finished side of a fence should always face the non-residential use.

2. Ornamental Steel Fencing Guidelines:

(a) Height:

Nominally four feet (4'), measured from natural ground, with a smooth transition to the six-foot (6') wood side lot fence.

(b) Dimensions:

Posts: One and one-half inches (1½") square, nominally six feet (6') on center. Footings for posts must be engineered for acceptable performance in prevailing soil types.

Rails: Two rails one and one-fourth inches (1¼") square. Located top and bottom. Bottom rail is to be two inches (2") above natural grade.

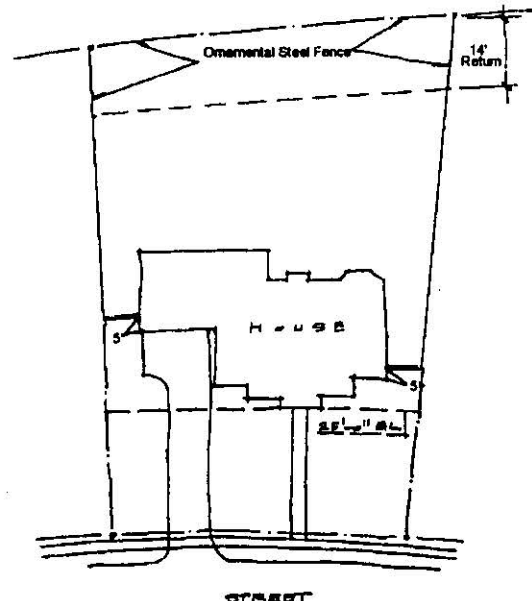


Figure 7

Pickets: Flat topped, one-half inch (1/2") square, four and one-half inches (4 1/2") o/c.

(c) Materials.

All steel construction. Posts shall be 16-gauge wall thickness; rails shall be 18-gauge wall thickness. Weld solid all exposed ends.

Paint system: One coat of primer finished off with two coats of a flat, black, non-fade paint system.

(d) Uniformity. Builder shall use every effort to maintain uniformity of the installed product throughout the community and with other builders' installation.

3. Gates

(a) Gates shall be constructed with the same materials and quality as the adjoining fence. If the adjoining fence is ornamental steel, all hardware shall be painted the same color as the fence.

(b) Pedestrian gates may not exceed forty-two inches (42") in width.

(c) Gates are not required but may be constructed for resident access to the adjoining public areas (e.g. greenbelts and public rights of way).

I. Decks, Pools, Ancillary Buildings, Etc.

All decks, pools, ancillary buildings, and other such structures are to be constructed only in the rear of the yard as specified in the following:

1. Decks

Decks for either pools or hot tubs are not permitted within utility easements, and generally should be kept within the side-lot building setback lines. No deck is allowed to encroach into the three-foot (3') wide side lot drainage easement.

2. Swimming Pools, Hot Tubs and Spas

Swimming pools and spas must be constructed within the setback lines of each lot and may not encroach into the utility or drainage easements. Adequate room for landscaping should be provided. Mechanical equipment may not encroach into the three-foot (3') wide side lot drainage easement or any utility easements, and must be screened from public view.

Aboveground swimming pools are strictly prohibited. However, aboveground spas, jacuzzis or hot tubs are allowed provided they are screened from public view through the use of landscaping or a privacy fence. Mechanical equipment may not encroach into the side or rear yard setbacks, and must be screened from public view.

Generally, swimming pool features (i.e. slides, waterfalls, diving boards, etc.), accessories and equipment must not be directly visible from public views.

3. Ancillary Buildings and Other Structures

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Gazebos, play structures, storage structures, shade and other structures must be submitted to the ARC for approval prior to construction. The size and height of these buildings are strictly controlled in the DCC&R's of each neighborhood. Gazebos, arbors and shade structures must be architecturally compatible with the main home and be in compliance with applicable restrictions. Structures proposed for greenbelt and lake frontage lots must not screen views from adjacent lots. Storage structures must be architecturally consistent with the style and materials of the home or actually be part of the home structure. Detached storage structures may require screening from public view. All ancillary buildings and other structures must not exceed eight feet (8') in height.

J. Landscaping

1. Yard Trees

The builder is required to install trees in the front yard of each home. The specific number of yard trees required for each lot depends on lot width. The following standards should be adhered to for the appropriate lot widths specified.

YARD TREE REQUIREMENTS

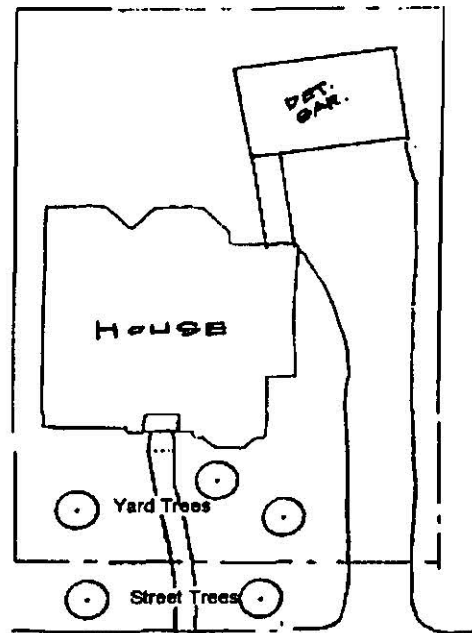
Lot Width	No. of Trees Required	Type of Trees
75' - 100'	4	2 Hardwoods & 2 Pines or 4 Hardwoods
100' or greater	6	3 Hardwoods & 3 Pine or 6 Hardwoods

The yard trees installed, or if existing, must be a minimum of three inches (3") in caliper (30 gallon) for hardwoods and four inches (4") in caliper for pines when measured 12 inches above grade. Additionally, trees must have a minimum height of ten feet (10') and a minimum spread of five feet (5'). However, larger trees are encouraged.

2. Street Trees

In addition to the front yard tree requirements, builders are required to plant "street trees" in the front right of way of all lots, and in the front and side lot right of way of corner lots. The trees will be planted five feet (5') behind the curb. planted and staked with two metal posts a maximum of thirty feet (30') on center. Builder shall coordinate with adjacent Builder to maintain consistent spacing.

For lots 100' wide or greater: Street trees must be 65 gallon, container-grown live oaks, three and one half inches (3½") in caliper when measured 12" above grade. Trees must have a minimum height



**Figure 8 – Interior Lot
Required Street Trees and Yard Trees**

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of twelve feet (12') and a minimum spread of six feet (6').

For lots 75' – 100 wide: Street trees must be 15 gallon, container-grown live oaks, one and one-half inches (1½") in caliper when measured 12" above grade. Trees must have a minimum height of eight feet (8') and a minimum spread of five feet (5').

3. Other Vegetation

In addition to the tree requirements above, individual lots must meet the following minimum landscaping requirements:

- (a) At least 15 foundation shrubs per lot should be installed in the front yard with a minimum container size of 5 gallons.
- (b) At least 2 vertical foundation accent shrubs per lot should be installed in the front yard; with a minimum container size of 10 gallons.
- (c) Primary shrub treatment in the front yard shall be within the back third of the front of the home. This is not to preclude additional landscaping in other areas of the front yard.
- (d) A continuous ligustrum hedge is required on corner lots along the entire length of the side fence. The hedge shall be a minimum of 5-gallon ligustrum, 30 inches on center.

4. Grass Coverage

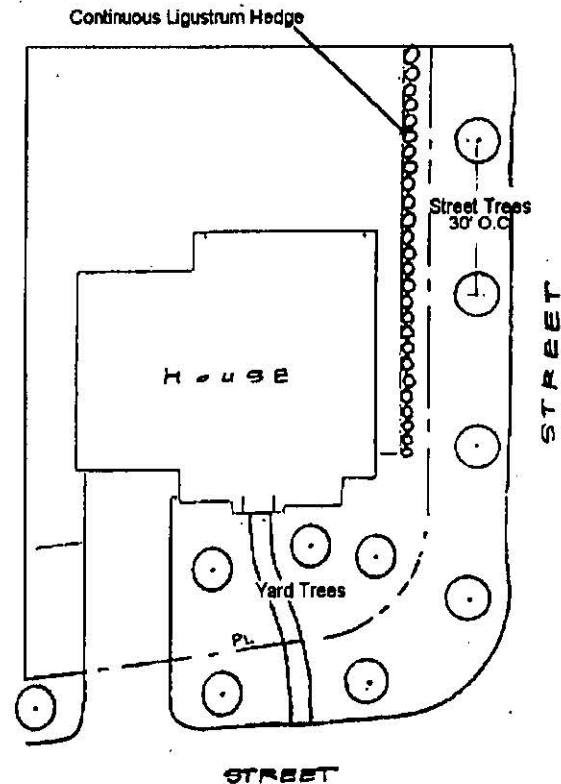
All areas exposed to public view (public rights of way, greenbelt views) shall be solid-sodded with Saint Augustine grass.

Required yard trees and street trees are illustrated in Figures 8 and 9.

K. **Tree Preservation and/or Removal**

Successful preservation of existing trees depends on many factors, quality methods and good timing. Issues important to that success include construction of protective barriers, root pruning, removal of dead, diseased or obstructing branches, avoiding dramatic grading and/or altering the drainage pattern near a specimen tree or grove, avoiding soil compaction under the drip line, and providing supplemental feeding and/or watering to trees which have been or will be impacted by construction. In order to address these areas of concern, builders are required to adhere to the following guidelines for tree preservation and removal.

The builder is required to survey and stake the footprint for proposed building garage, swimming pool, patio, driveway and rear yard utility corridor footprint areas prior to any construction activity.



**Figure 9 – Corner Lot
Required Street Trees, Yard Trees
and Ligustrum Hedge**

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Decks are not considered permanent structures and, therefore, should not be considered a footprint area. However, in an attempt to preserve any significant trees (4 inches in caliper or larger), an effort should be made to design the decks around them. A residual "Tree Preservation Area" in the front and rear of a lot outside of the approved footprint area should exist and must be ribboned off.

Tree preservation areas must not be disturbed and measures must be taken to protect them after clearing the footprint areas.

The Preservation Area (Figure 10).

- In the front yard, the tree preservation area will generally take on a rectangular shape and its boundaries are defined as follows:
 - 10 feet forward from the front building line
 - the side property line (non-driveway side)
 - the edge of the driveway
 - interior edge of the front right-of-way line
- In the rear yard, the tree preservation area is generally an irregular shape depending on the footprint(s) of the structure(s). This area is defined as follows:
 - 10 feet from the perimeter of the back of the home and garage
 - 3 feet from the perimeter of the patio and driveway
 - the side property line (non-driveway side or both sides if the garage is not detached) and/or 3 feet from the edge of a detached garage if located in the rear yard
 - the edge of the rear yard utility easement
- *Absolutely no clearing is permitted in the tree preservation areas.* Extra care should be taken to protect tree preservation areas from damage during the clearing process.

After the clearing process is complete, tree and underbrush protection in the form of a 4'-0" safety fence must be constructed around tree preservation areas. This protection fence must be installed at the edge of the cleared zone. This protection fence must be constructed prior to any other construction activity, excluding clearing.

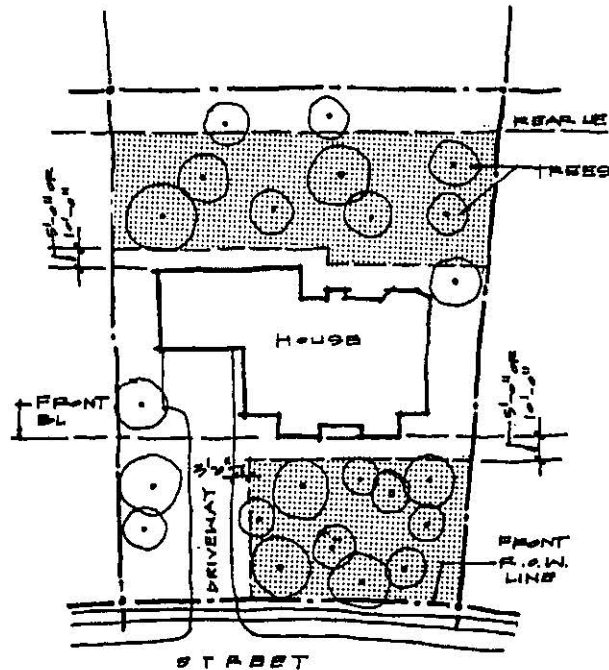


Figure 10
Tree Preservation Areas

Metal fence posts must be securely inserted in the ground and placed at a maximum of 8-foot centers along the identified ribboned area. The fence must then be secured to these posts to prevent sagging.

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The intent of this procedure is to further protect trees and groves of trees from construction equipment and also to prevent the storage of equipment within tree preservation areas.

Construction Activity:

- No equipment or materials may be stored or ever trespass into areas within the tree protection fence. Driving or parking vehicles or equipment within the tree protection fence is strictly prohibited. If, during construction, this fence is knocked down, it must be repaired by the builder immediately.
- Items such as nails, wires, ropes, reinforcement bars, etc. must not be attached to any tree within a tree preservation area. Fencing must not be attached to trees.
- Underbrush within the tree preservation fences shall not be removed prior to or during construction. Removal of the underbrush may cause root systems to dry out due to exposure to excessive light and air on the ground just below the underbrush. Where underbrush exists and is to be removed after construction, the ground underneath must be mulched.
- Removal of underbrush may occur only after construction activity is complete at time of final landscaping. Underbrush trees are defined as trees or bushes of three inches (3") in caliper or less when measured 12 inches above grade.
- Appropriate tree removal methods must be utilized to prevent damage to the roots, trunk, and canopies of those trees which are to be preserved and/or relocated.
- Trees which will be impacted through root pruning or grading, and which are to be preserved, should be root-pruned and fed in a timely manner to reduce stress from construction activity.
- Drainage patterns shall be respected wherever possible. In areas where swales or sheet drainage is inadequate to drain a lot and/or pose a potential hazard to the structure, the builder shall supply and make use of area drains. Tree preservation areas may not be graded with fill other than that needed for fine grading or sodding.
- The intent of the site drainage concept is to eliminate runoff onto adjoining property or other undesirable runoff locations. Generally, this can be accomplished through the construction of swales and drains which minimize the drainage impact to existing trees and vegetation.
- Grading under trees, which are to be preserved, should not change grade elevations under those trees by more than 1/2 the caliper of the tree trunk up to a maximum of two inches, whichever is less. (For example, only 2" of fill may be placed under a 4" caliper tree.)
- Tree protection fencing must remain in place until all construction work on the home is completed. Protection fencing may be removed only at the time of final grading in preparation for final landscaping.
- No activity that alters the landscaping or grading may take place within the tree protection fence until time for final landscaping.
- Builders are responsible for the removal of all trees which die prior to the closing date or as negotiated with the homeowner.

When tree replacements are necessary, the replacement tree(s) must be of a comparable species and, at a minimum, conform to the size and specie criteria set forth in Section "J" (Landscaping) of these Residential Architectural Control Guidelines in order to be considered and permitted as an adequate replacement.

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NOTE: If during construction, and after a reasonable time is given to rectify the situation, a builder is found to be in violation of any of the above requirements, the builder will be fined \$100.00 per day until the violation is cured. Should any OSHA construction requirements conflict with the tree preservation guidelines, the OSHA requirements take precedence.

L. Lot Drainage

In order for a lot to provide adequate drainage capabilities and remain sensitive to tree preservation, the following drainage guidelines apply:

FDC endeavors to provide engineered and developed lots that enable builders to achieve positive site drainage of +/- .75% to 1.0% generally from the rear of lots to the street. Some situations may exist where drainage is to the rear of lots.

When a home structure is in place on a given lot:

- Positive drainage should be maintained and should be directed away from the home structure.
- Drainage runoff onto adjoining properties is prohibited.

When lots require further drainage, the construction of swales (which minimize drainage impacts to existing trees and vegetation) is recommended. Lastly, where more drastic drainage requirements exist, the use of area drains is recommended.

Regardless of what method is utilized, the preservation of trees will always be considered a foremost concern. Drainage must attempt to work around significant existing trees and dedicated tree preservation areas. Please refer to the previous Section K ("Tree Preservation and Removal") for further direction on which trees must be preserved and the grading restrictions that apply.

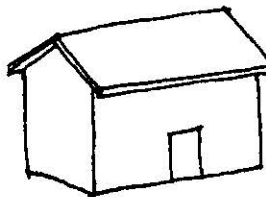
III. Architectural Design and Materials

The general purpose of this section is to encourage variety, diversity, interest, and individuality in home architecture. Requirements of specific neighborhoods or sections may supersede this section to reinforce a particular architectural theme desired.

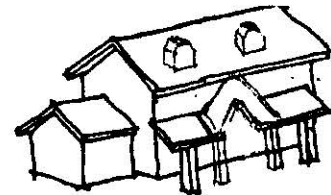
A. Massing of Home/Scale/Proportions

In general, the massing of a home should be appropriately scaled to the street and the surrounding homes. The home should have reasonable variations in its massing and should avoid the "straight box" approach in all instances (Fig. 11).

Side elevations with huge expanses on a common plane should be avoided. Relief should be provided on all elevations by providing setbacks which can break down the massing where possible. Pieces of the home should be scaled appropriately to each other. Logical placement of material or texture changes can significantly help in creating appropriate massing.



Avoid



Preferred

Figure 11
Massing

B. Exterior Elevations and Materials

1. Exterior Elevations

Where a one-story home occurs next to a two-story home, the two-story home should have a one-story element adjacent to the one-story home. Where this is not desired or possible, varying the ridgeline on a two-story home helps to break up the massiveness of a continuous roof line and helps in transitioning in size from two-story homes to neighboring one-story homes.

The design of exterior elevations, especially those on corner lots, must not turn a "blind" elevation to any side street frontage (Figure 12).

If shutters or other distinct architectural elements are incorporated into the design of the home, they should be featured on all elevations which face a street.

Windows must occur on all street facing elevations of single-family homes which are not patio homes or homes on a zero-lot-line configuration. This requirement helps achieve a positive character for the community since it emphasizes the importance of the home when experiencing the street scene.

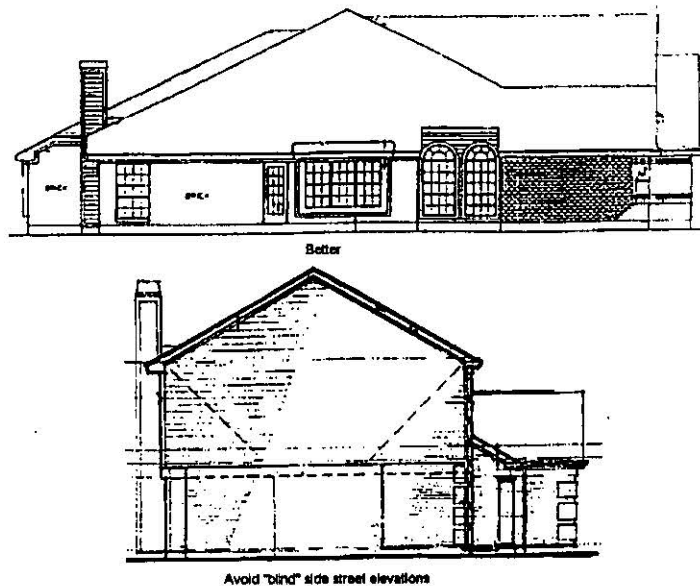


Figure 12
Side Street Elevations

2. Repetition of Elevation

Builders proposing the construction of repetitive home designs shall carefully consider their production model mix in order to avoid monotony, yet maintain continuity of scale and character. The intent of this guideline is to avoid the negative "look-alike" effect of frequent repetition, but still allow sufficient latitude for the builder in satisfying market demand. Builders must conform to the following:

- (a) If a plan is to be repeated with the same front elevation design, it must not occur more frequently than every fifth consecutive lot. Thus, where this situation exists, at least four other homes must occur between the next repeated front elevation. Brick and trim color in this situation must be different. Patio home products, however, need not vary brick and trim color.

- (b) If a plan is to be repeated with a different front elevation design, it must not occur more frequently than every third consecutive lot. Thus, at least two other homes must occur between the next repeated floor plan with a different front elevation design. Brick and trim color must also be different. Patio home products, however, need not vary in brick and trim.
- (c) The ARC reserves the right to reject an elevation that closely resembles that of a nearby home or in any way detracts from the overall street scene. Additionally, identical uses in brick type and color, and siding color, are prohibited on homes that are adjacent to one another. Custom homes may not be repeated within any given section. Section J (Exterior Colors) further details color requirements.

3. Exterior Materials

The variety and number of primary exterior materials should be held to a minimum. The maximum number of exterior materials allowed is three. All exterior walls on the first floor must be brick, stone or stucco. On two-story homes, the front elevation must be predominantly brick, stone or stucco. On the second story, exterior walls on lots 65' and larger, brick, stone or stucco is on the front elevation, then a corner wrap of not less than 15' is required.

(a) Brick

Brick shall be hard fired and have an overall appearance of relative evenness in color and texture. Painted brick may be permitted where deemed appropriate for a particular architectural style. However, such applications must be approved by the ARC prior to initiation.

(b) Wood/Hardboard

Siding: Material shall be either wood or fiber-cement (e.g. Hardie Plank) and must be of a horizontal, lap type. Diagonal siding, board and batten, and particleboard siding, and vinyl siding are prohibited. Siding shall be painted or stained with medium range colors that do not drastically contrast adjacent brick or other material. Naturally weathered wood is not permitted.

Trim: All trim shall be smooth/semi-smooth, high quality finish grade stock wood or Fiber-Cement (e.g. "Hardie-plank"). Trim shall be stained or painted as approved by the ARC.

(c) Stucco

Stucco, as a building material, is permitted given an appropriate style of architecture. Stucco may be used as a major building material with the approval of the ARC.

(d) Stone

If stone is to be incorporated, it should be a natural limestone, or other regional stone color which is deemed appropriate with the project character as approved by the ARC.

(e) Synthetic Materials

Synthetic material such as metal siding, vinyl siding, and other materials, which have the appearance of wood, or stone, must be reviewed to ensure a quality appearance for approval by the ARC.

(f) Material Changes

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Changes in exterior wall material should have a logical relationship to the massing of the home. Material changes on a common wall plane that occur along a vertical line should be avoided wherever possible.

(g) Awnings

Awnings over entrances or windows are prohibited.

C. Entrances and Windows

All openings in a structure such as windows and doors should relate to each other on all elevations both vertically and horizontally. This should occur in some clearly defined order, and scattered or random placements should be avoided. Both entrances and windows should be in proportion as they relate to the building mass as a whole. All sides of a home should receive equal design consideration. Reflective glass is prohibited.

1. Entrances

Entrances should be the focal point of the elevation which they serve. Although two-story entryways are allowed, the creation of a focal point at the entry through the use of human scaled entry elements is suggested. Recessed or protruded one-story elements add to the architectural detail of the home. Regardless of the scale selected, entrances should always relate to the overall architectural character and quality of the home.

2. Windows

Windows, like entrances, should be compatible with the overall building mass and architectural character and quality of the elevation.

If shutters are incorporated as part of the design, they should be appropriately scaled to relate to the window opening and appear authentic. They must also always occur in pairs. The shutter color must harmonize with the other colors on the home. Where shutters are used on a home located on a corner lot, they should occur on the side street elevation as well as the front.

Wrought iron and/or burglar bars will be considered only if the ARC determines that they are compatible with the architectural character of the home. Burglar bars over windows are generally prohibited and must be submitted to the ARC for consideration. Approval must be granted prior to installation.

If storm windows are to be utilized, they must resemble existing window frames of the home and neighborhood. They should have the same general configuration as the existing window frames if this is a replacement application. Additionally, storm windows must have a similar color value to the existing window frames of the neighborhood. Mechanical roll-down storm window boxes, if utilized, must match the window frame color of the home.

D. Roof Treatment and Overhangs

1. Materials

Approved roof materials shall have the following minimum qualities:

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All other custom and production building programs:

- 25-year warranty, three-dimensional shingles.
- Earthtone colors. All shingles within a given neighborhood shall be the same color.

Shingles shall be composition asphalt. Other materials must be approved by the ARC prior to installation. All materials must meet the minimum qualities specified above.

The shingle material must harmonize with other shingle materials used in the neighborhood. Shingles with an ornate pattern or cut pattern are not acceptable. Earthtone shades are required for all shingle materials.

2. Form

The form and massing of the roof should have a logical relationship to the style and massing of the home. Roof pitches should be applicable codes, but must be a minimum of 8 in 12 and not steeper than 12 in 12 for the main body of the roof.

The ARC will consider other configurations in roof forms if appropriate to the style of architecture for a particular home. However, very steeply pitched roofs, such as Mansards, which create massive roof structures, are strongly discouraged.

The roof height should not exceed 3/4 of the total elevation area for single story homes and 1/2 for two story homes.

Fascia depths should be in scale with the mass of the elevation, but the face of the fascia board must be at least six inches (6") – nominal – in size.

Front facing gables over attached garages facing the front street are acceptable, but discouraged (Figure 13). This configuration draws attention to the garage and may compete with the entry feature. Front loaded garages may protrude no more than ten feet (10') from the front plane of the main residence.

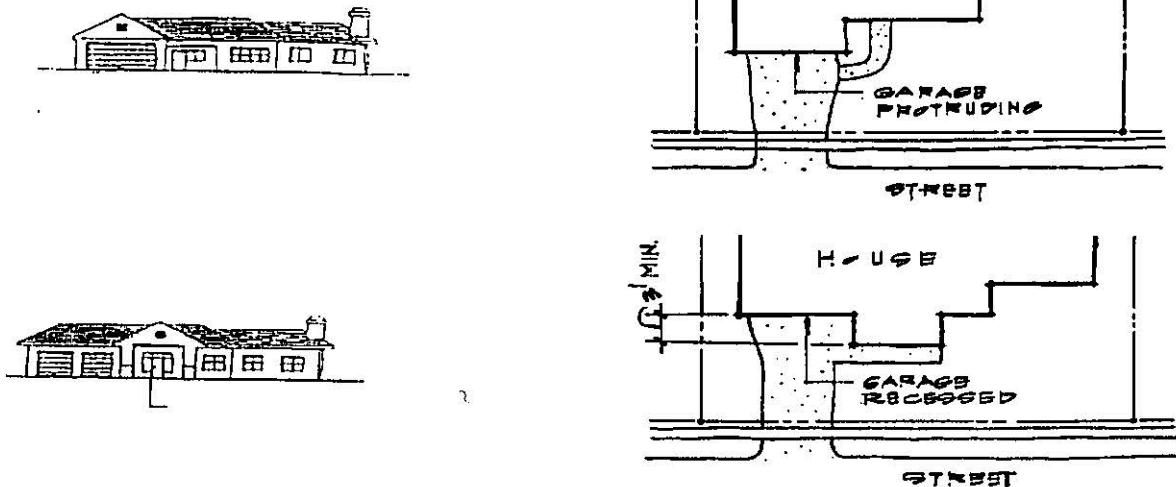


Figure 13

3. Overhangs

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Overhangs should be compatible with the architecture of the home and function as shading devices. Care should be taken not to exaggerate their lengths or provide too small an overhang. Overhangs should be more pronounced on eave conditions while rake conditions should receive a much more moderate overhang.

4. Roof Penetrations

Roof vents, utility penetrations, or other roof protrusions shall not be visible from the front street land must be painted to match the singles. Skylights should not be visible from the front street.

5. Gutters & Downspouts

Gutters and downspouts should be strategically placed to minimize their visibility to the front street. Preferably, downspouts should occur only at the rear and sides of a home. Placement on the front elevation should be avoided as much as possible, but may be used to avoid water runoff at front entrances. Gutters and downspouts must match or be very similar to the color of the surface to which they are attached.

Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts on standard lots must be installed so water runoff does not adversely affect adjacent properties. Zero-lot-line patio homes, however, may drain onto the adjacent easement of the non-patio side of the home to accommodate roof drainage.

6. Exposed Roof Metal /Antennas

All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color.

All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and should be placed in a location which is least visible from adjoining property.

Roof-mounted ventilators shall be no higher than 10 inches above the roof surface.

E. Chimneys

If chimneys are located on an exterior wall of a home on the front of a home or on an exterior wall on the side-street side of a corner lot home, the chimney must be brick or masonry. The chimney must also be compatible with the architecture of the home.

If prefabricated metal flues are used at these locations, they should be clad in masonry or brick to create an image of a traditional masonry chimney. Stucco will also be allowed as a chimney material at these locations provided that the material of the home is also stucco. The use of wood or Hardie-Plank is not allowed at these locations.

If a chimney occurs in an interior portion of the roof (not an external home edge) or at the rear or non-corner side of a home, it must be constructed of materials that match the architectural style and color of the home. Metal flues, stucco, wood sided chimneys are permitted in these locations. Cladding metal flues with masonry, brick, wood, or fiber-cement is preferred if metal flues are to be used.

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Spark arrestors and caps are required on all chimneys. The spark arrestor and cap should be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction.

Heights of chimneys should meet all fire code requirements and be proportional to the roofline of the respective home. Metal chimneys, if used, shall not exceed a maximum exposed height of six inches (6") of chimney pipe nor a maximum height of eighteen inches (18") of total exposed metal including both chimney pipe and cap.

F. Garage Doors

Split double doors are preferred over single door designs where double car, front-loaded, attached garage configurations are utilized. When double doors are used, the garage is less likely to dominate the front facade and, therefore, less likely to appear as a blank wall.

In general, garage doors should not be on the same plane as the wall on which they are to be installed. They should be recessed (physically set back) from the front plane of the home.

Additionally, garage doors should be relatively unadorned while remaining compatible with the architecture of the home and elevations. Panelized doors, however, are encouraged to help downscale the effect of a garage door.

G. Address Identification

Address identification is limited to the address number for a particular home. No street name or resident name is permitted on the exterior of the home.

The address number must be visible from the street. The scale of the address number may vary according to the scale of the home, but may be no larger than six inches (6") in height and must be placed in a horizontal line.

No particular letter type style is required, but numbers must be Arabic and must be easily readable from the street.

The number for address identification should be inset into the brick either next to the front door or on the front of the home.

Internally lit address numbers are not permitted.

H. Lighting

The type, color, and quality of all exterior site and home lighting must be consistent with other existing lights on the property and in the neighborhood of the respective home. Incandescent-type lighting is the norm.

1. Floodlighting

Floodlighting fixtures must be attached to the home or other architectural structure and must not illuminate adjacent public or private properties. Lights must be directed downward and shielded so that they do not create a "hot" glare spot visible to neighbors. The fixture color and any

shielding should be compatible with the building. Conduits and wiring must be concealed. Neither high-wattage, commercial/industrial-type fixtures nor sodium-vapor light sources will be approved for residential.

2. Exterior Lighting Fixtures

All exterior lighting fixtures visible from the street or other public areas must be of an understated design that complements the architectural style of the residence. Fixtures shall be white incandescent, unless otherwise approved by the ARC. High intensity area lighting, such as mercury vapor or high-pressure sodium is not allowed.

3. Walkway Lighting

Proposed walkway lighting should be inconspicuous and of a bollard or dome light design. The lamp may be incandescent (100w maximum), quartz (75q maximum), metal halide (75w maximum), or fluorescent (25w maximum).

I. **Screening**

1. Wood Fences

All wood fences exposed to permanent public view must be constructed in accordance with these guidelines and screened with a combination of trees and shrubs.

2. Mechanical Equipment

Air conditioning compressors are not permitted outside of fences on the side streets of corner lots.

3. Rear Yard Equipment

Play equipment and structures, pools, lawn furniture, etc. must be screened from public street view by a combination of trees, hedges, walls, or fences.

4. Driveway and Parking Areas

Approved motor courts must be screened with a combination of trees and shrubs to minimize the amount of paving visible from public area (Figure 14) and must not be closer than 5 ft. to the side property.

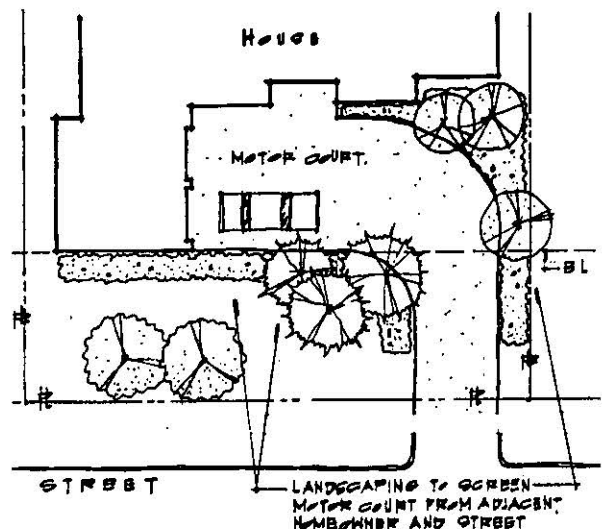


Figure 14

J. **Exterior Colors**

Exterior paints and stains for each residence shall be selected to complement or harmonize with the colors of the other materials with which they are used. The general intent is to encourage greater variety among homes along the street.

Siding and trim should generally stay within the earthtone color family. The use of white is also permitted. Extremely bold or primary colors, however, are prohibited.

RF 057-21-1625

Yellow, blue, or green pastels are discouraged. However, soft and muted earthtone pastel colors like grey, beige, brown, salmon, etc., are acceptable.

The variety and number of exterior colors on each home should be held to a maximum of three not inclusive of brick color or front door color. Brick colors should generally be of an earthtone family or range. No one brick color family should dominate a particular street scene.

Repetition of brick uses should occur no more frequently than every fifth home.

Very dark colored brick is discouraged. Brick for homes on consecutive and facing lots must vary in order to avoid monotony. Variety in brick use is highly encouraged.

Likewise, trim color and/or field color must also vary. The ARC will determine whether consecutive or relatively consecutive homes' brick colors or trim colors are similar enough to deny their adjacency.

K. Security Devices

Security devices such as sirens and speaker boxes should be the minimum size needed to be effective and should be located unobtrusively. Section III.C.2 ("Entrances and Windows"), prohibits security and/or burglar bars on the exterior of homes unless specifically approved by the ARC prior to installation. If security devices are being considered for a home, the builder/developer must utilize a device which is not visible to public view and preferably mostly contained within the home.

IV. Model Homes/Model Home Park

A. Model Home Layout

1. Modifications

Realizing that model homes will function as sales offices, modifications to the finished product that would actually be sold is expected. However, builders are expected to emulate as closely as possible the end product that a consumer can expect to receive.

Before sale by the builder, all modifications (e.g., front yard fencing, atrium doors in lieu of overhead garage doors, floodlights, etc.) must be removed and the unit restored to its standard appearance.

2. Yard Lights

Each model should have, unless otherwise specified by the ARC, yard lights installed that will illuminate the model homes during the period from dusk to 10:00 p.m. The builder may employ other types of illumination upon approval of the ARC.

3. Fencing

Fencing on sales models will always be of an iron/metal material of a standard configuration where it is adjacent to front yards. Fences will always permit view of the home and into the lot from the street. Model home fences should never exceed four feet (4') in height in the front yard. Wood fencing is allowed in the rear yards of model homes. All fence designs must be submitted to the ARC for review and approval.

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4. Flag Poles

A maximum of one (1) flagpole per model home site, per builder will be allowed to display a U.S. Flag, a Texas Flag, or Builder Flag.

The flagpole should be one-piece construction of brushed anodized aluminum not to exceed thirty-five (35') feet in height. The pole should be capable of withstanding local wind velocities.

The length of the flag should be approximately one-fourth (1/4) the height of the pole on which it is mounted. Building-mounted flagpoles are not permitted. Flags and/or poles must be replaced when they become faded or worn.

B. Maintenance: Model Home Exteriors and Landscaping

1. Model Homes Exterior

Exterior of model homes should be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If, in the opinion of the ARC, areas of a model home require refurbishing, the ARC will give the respective homebuilder two weeks' notice in writing in which to correct the deficiencies.

2. Landscaping

The front and rear yards of all model homes are to be landscaped including fully sodded yards and foundation plant material. Front yard and street trees will be planted in accordance with previously promulgated rules of the ARC and these guidelines. A minimum of one (1) rear yard tree is required.

C. Model Home/Builder Signage

One (1) yard sign per lot is allowed for the purpose of advertising a particular builder name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot.

Builders will be allowed one (1) yard sign per builder, per model park. The sign may be a maximum of 32-sq. ft. in area. Base landscaping is required. The sign will be allowed for a period of time commensurate with the model homes sales program only. Model identification signs may not exceed three (3) square feet. In addition, one sign no larger than 3 square feet may be used to indicate whether a model home is open/closed and the hours of operation only. This sign must be close to the front door.

The ARC has the right to remove any sign, advertisement, billboard, or advertising structure which is in violation of these restrictions. All model home signage packages must be submitted to the ARC for review and approval.

RP 057-21-1627

EXHIBIT "A"

FRIENDSWOOD DEVELOPMENT COMPANY
ROYAL SHORES - KINGWOOD

ADDITIONAL ARCHITECTURAL CONTROL GUIDELINES
FOR ROYAL SHORES PATIO HOMES SECTIONS 1, 2 AND 3
All subdivisions of record in Harris County, Texas

The architectural style, design elements and material of the Royal Shores patio homes in Royal Shores Patio Homes Sections 1, 2 3 must adhere to the following architectural guidelines outlined below. All elevations must be submitted to Friendswood Development Company's Architectural Review Committee for review and approval prior to commencement of construction.

I. Exterior Style and Detailing: The exteriors should be a classic and eclectic European architectural style with exterior materials being brick and stucco with some elements of pre-cast stone. All elevations shall have architectural detail, including the entries and the zero line wall. Stucco is to be used to create rich entry treatments and break up the larger areas of brick.

II. Exterior Building Materials:

A. Masonry Materials

- 1) Brick – To be determined.
- 2) Stucco – Real stucco of a narrow selection of muted color variations designed to complement with one another. These colors should not create large color contrasts with the brick. Stucco colors to be selected among the following colors from Spectrum Coatings brand brochure:
To be determined

B. Roofing

- 1) Roof material – Elk, High-Definition, 30-year or equal. Color to be "Sablewood".
- 2) Roof slopes – slope range (8/12 –10/12). Dutch hips and sloping drop-off roof fascia designs are discouraged from street views, especially corner lots.
- 3) Chimney Chases – brick or stucco with consistent design metal bonnet of dark charcoal color

C. Windows and Shutters

- 1) Window Frames – tan color for all homes (aluminum or vinyl frame). Hardiplank brand (or equal) brick mold framing of windows on front elevations. Paint color specification to be approved by the ARC.
- 2) Window Style –On front elevation, a combination of rectangular, soft or flat arched windows.
- 3) Shutters – panel or louver design shutters with a pre-selected range of ARC pre-approved shutter colors to compliment brick and stucco.

D. Address Markers – 15" x 9" pre-cast unit imbedded into landscape or building wall at front of each home, color to match pre-cast wall caps.

RP 057-21-1628

RECORDER'S MEMORANDUM:
At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

E. Doors

- 1) Front Door - 8' height, stained or painted to match shutter color according to ARC pre-approved colors
- 2) Secondary Doors - (non-garage) French door systems to match window style
- 3) Garage Doors - a consistent, architecturally detailed garage door to be approved by ARC

III. Walls, Fencing & Gates

- A. Brick and/or stucco front walls - required between homes. Front facing walls between homes to be minimum 6' height with bull-nose edge pre-cast stone of a consistent design and color.
- B. Rear yard backing onto forest reserve or water - 1/2" picket 4' tall wrought iron of a consistent design
- C. Rear property line to rear zero lot corner of home - 6' cedar good side to adjacent lot
- D. Front Courtyard gates - 3/4" picket wrought iron pickets of a consistent design with plastic spears
- E. Common Non-zero Lot Line - double sided 6' cedar capped fence to be used.

IV. Driveways & Garage Orientations

- A. Driveway Materials - Brushed concrete with a single color textured concrete insert (10'x10') at front property line
- B. Garage Orientations - Hook in driveways preferred. If straight on, doors must be recessed at least 2' inside of front building mass.

V. Landscaping

- A. Front Yard - Front yard landscaping to be submitted for ARC approval. Street trees (1 to 2 per lot depending upon front footage and at least one front yard tree will be required.
- B. Rear & Side Yard - Rear and side yard landscaping will not require ARC approval.

VI. Setbacks

- A. Front Setback - Minimum 20-foot front setback for front loading garage and minimum 10-foot setback for hook-in garages, or per recorded plat.
- B. Side Setback - Minimum 5-foot setback on the courtyard side of home; one-foot setback on the zero lot-line side.
- C. Rear Setback - Minimum 8-foot rear setback or per rear utility easement on recorded plat.

ANY PROVISION HEREIN WHICH VIOLATES THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS VOID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED. In the Official Public Records of Real Property of Harris County, Texas on

Return To: ✓

Nat Heston
550 Greens Pkwy.
Ste 100-Houston, Tx 77067
Final 6/5/2008



JUN - 5 2008

Dorothy B. Kayman
COUNTY CLERK
HARRIS COUNTY, TEXAS

Dorothy B. Kayman
COUNTY CLERK
HARRIS COUNTY, TEXAS

2008 JUN -5 PM 3:05

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